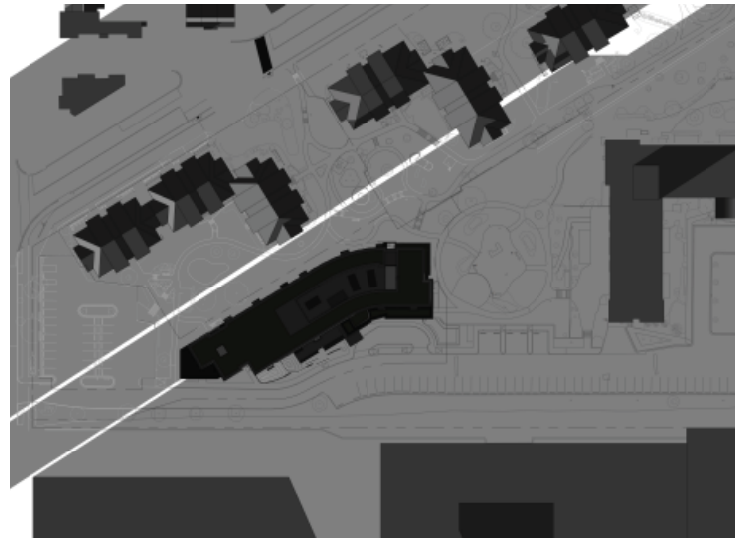


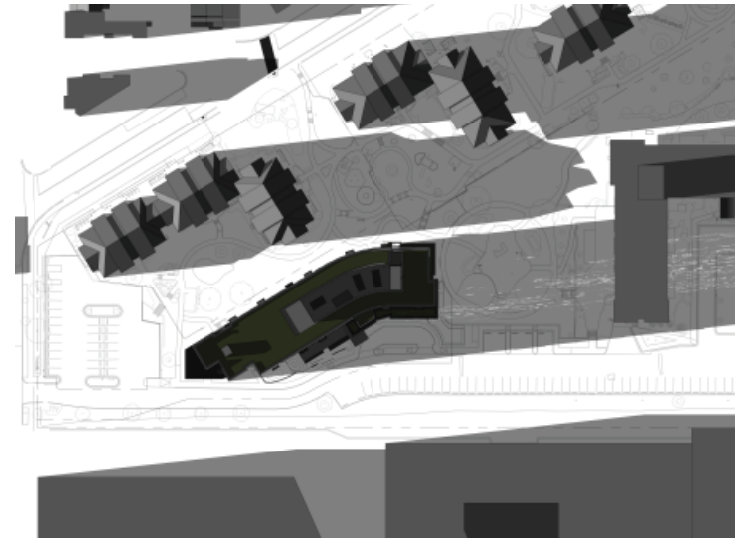
Zoning Section	Zoning Criteria	PUD Required or Allowed	Tax Lot 812	Notes
	Tax Lot 812		43,774	sf
	Dwelling Units		151	units
	Adult Day Care		6,283	sf
	Zone	RA-4	RA-4	
F-302.1	FAR - MOR	3.5		
	GFA - MOR		N/A	153,209 sf on Tax Lot.
C-1002.3(1)	FAR - IZ Bonus (20%)	4.2		
	GFA - IZ Bonus (20%)		N/A	183,851 sf on Tax Lot
X-303.3 X-303.4	FAR - PUD Bonus (20%)	5.04		
	FAR - PUD Bonus (20%)		N/A	220,621 on Tax Lot
	FAR Proposed		N/A	3.44 on Tax Lot
	GFA Proposed		150,601	sf
F-304.1	Lot Occupancy Allowed	75%		No PUD bonus. No IZ bonus.
	Lot Occupancy Proposed		N/A	41% of Tax Lot
F-303.1	Height Allowed	90 feet		No PUD bonus. No IZ bonus.
	Height Proposed		90 feet	
	BHMP		153 feet +/-	
F-307.1	GAR Required	0.3		Full Campus
	GAR Proposed		0.3	Note: GAR to be calculated on Tax Lot per Zoning Administrator Determination.
F-305.1	Rear Yard Required	4" per foot of height; 15 feet min		30 feet required for 90-foot building.
	Rear Yard Proposed		N/A	Varies - 48.67-foot minimum
F-306.1(b)	Side Yard Required	Not Required; 4 feet min if provided		
	Side Yard Proposed		N/A	Varies - 154-foot minimum
C-1503.1(c)	Penthouse Habitable FAR Allowed	0.4		
	Penthouse GFA Allowed		N/A	17,510 sf based on Tax Lot
	Penthouse GFA Proposed		650	sf
F-303.2	Penthouse Height Allowed	20 feet	20 feet	No PUD bonus. No IZ bonus.
C-701.5 C-702.1	Parking Required - Residential	1 per 12 units	13	50% reduction due to proximity to Metro.
	Parking Provided - Residential		N/A	13 spaces provided - 4 new HC spaces and 9 existing spaces provided on Record Lot.
C-701.5 C-702.1	Parking Required - ADC	.5 per 1,000sf	2	50% reduction due to proximity to Metro.
	Parking Provided - ADC		N/A	2 spaces provided - 1 new HC space and 1 existing space provided on Record Lot.
C-802.1	Bicycle Parking Required - Residential	1/3 units long term 1/20 units short term	50 long term 8 short term	
C-802.1	Bicycle Parking Required - ADC	1/10K sf long term 1/10K sf short term	1 long term 1 short term	
	Bicycle Parking Provided		28 long term Relief requested.	10 short term spaces provided on Record Lot.
C-901.1	Loading	1 Loading Berth 1 Delivery Space	N/A	1 Loading Berth and 1 Delivery Space provided on Record Lot.

Data updated 5/27/2020

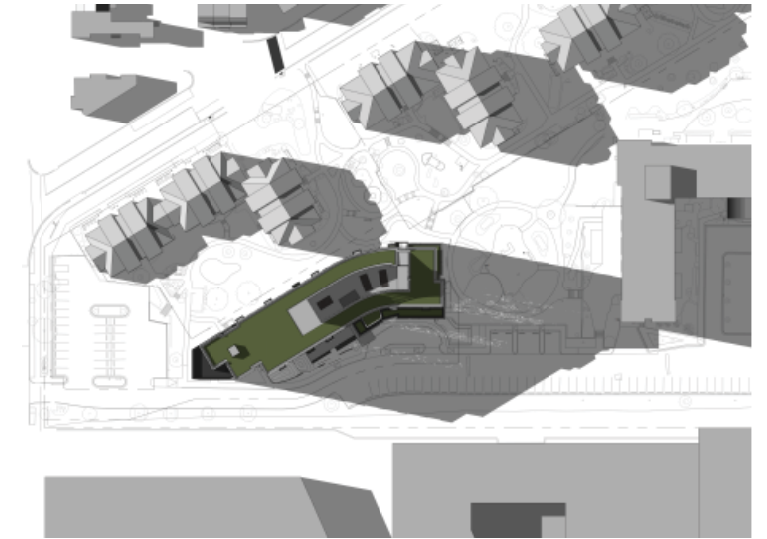
Record Lot	Tax Lot	Lot Area (sf)	Building	Estimated GFA (sf)	FAR ² (5.04 allowed)	Footprint (sf)	Lot Occupancy (75% allowed)
Edgewood 1 (existing)							
5		44,411	Parking Garage	32,441	0.05	33,734	5.18%
6	807		501 Edgewood St.	16,631	0.03	5,622	0.86%
6	807		515 Edgewood St.	16,631	0.03	5,622	0.86%
6	807		525 Edgewood St.	16,631	0.03	5,622	0.86%
6	807		535 Edgewood St.	16,631	0.03	5,622	0.86%
6	807		601 Edgewood St.	243,256	0.37	30,593	4.70%
6	807		615 Edgewood St.	16,631	0.03	5,622	0.86%
6	807	197,507	625 Edgewood St.	16,631	0.03	5,622	0.86%
Subtotal EW1				375,483	0.58	98,059	15.06%
Edgewood 2 (existing)							
6	805	13,760	Parking Lot				
2			401 Edgewood St.	17,881	0.03	4,470	0.69%
2			415 Edgewood St.	17,881	0.03	4,470	0.69%
2		45,798	425 Edgewood St.	17,881	0.03	4,470	0.69%
Subtotal EW2				53,643	0.08	13,410	2.06%
Edgewood 3 (existing)							
4	810	26,666	635 Edgewood St.				
4	811	46,441	635 Edgewood St.	195,107	0.30	20,143	3.09%
Edgewood 4 (existing)							
6	813	151,384	611 Edgewood St.	190,699	0.29	19,891	3.06%
6	803	81,172	Parking Lot / Drop-Off				
Subtotal (existing)				814,932	1.25	151,503.00	23.28%
Edgewood 5 (proposed)							
6	812	43,774	435 Edgewood St. ¹	150,156	0.23	17,620	2.71%
Total (existing + proposed)				965,088	1.48	169,123	25.98%
		650,913	Total Existing Lot Area (sf)				
Notes:							
1. Preliminary address. Final address to be determined by DCRA.							
2. Calculated on entire campus lot area.							



December 21 5:00 pm



March 21 5:00 pm September 21 5:00 pm



June 21 20 5:00 pm



December 21 1:00 pm



March 21 1:00 pm September 21 1:00 pm



June 21 1:00 pm



December 21 9:00 am



March 21 9:00 am September 21 9:00 am



June 21 9:00 am



Enterprise

WMC
WILES MENSCH CORPORATION
CELEBRATING 30 YEARS

WMC goulston&storr's **GOROVE SLADE**
Landscape Architecture + Urban Design Studio

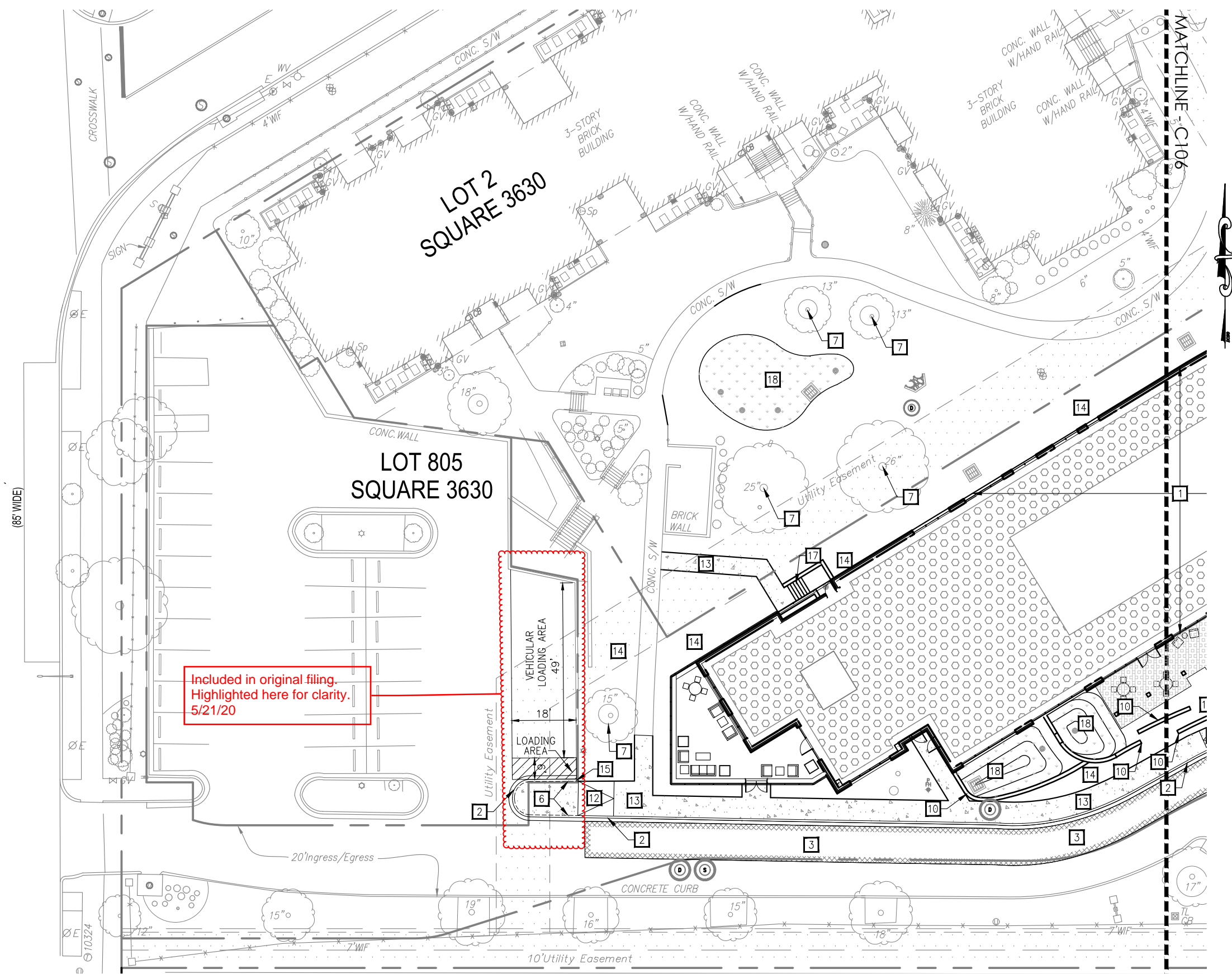
Shadow Studies | **Edgewood 5**

New Sheet provided 5/27/2020



24A

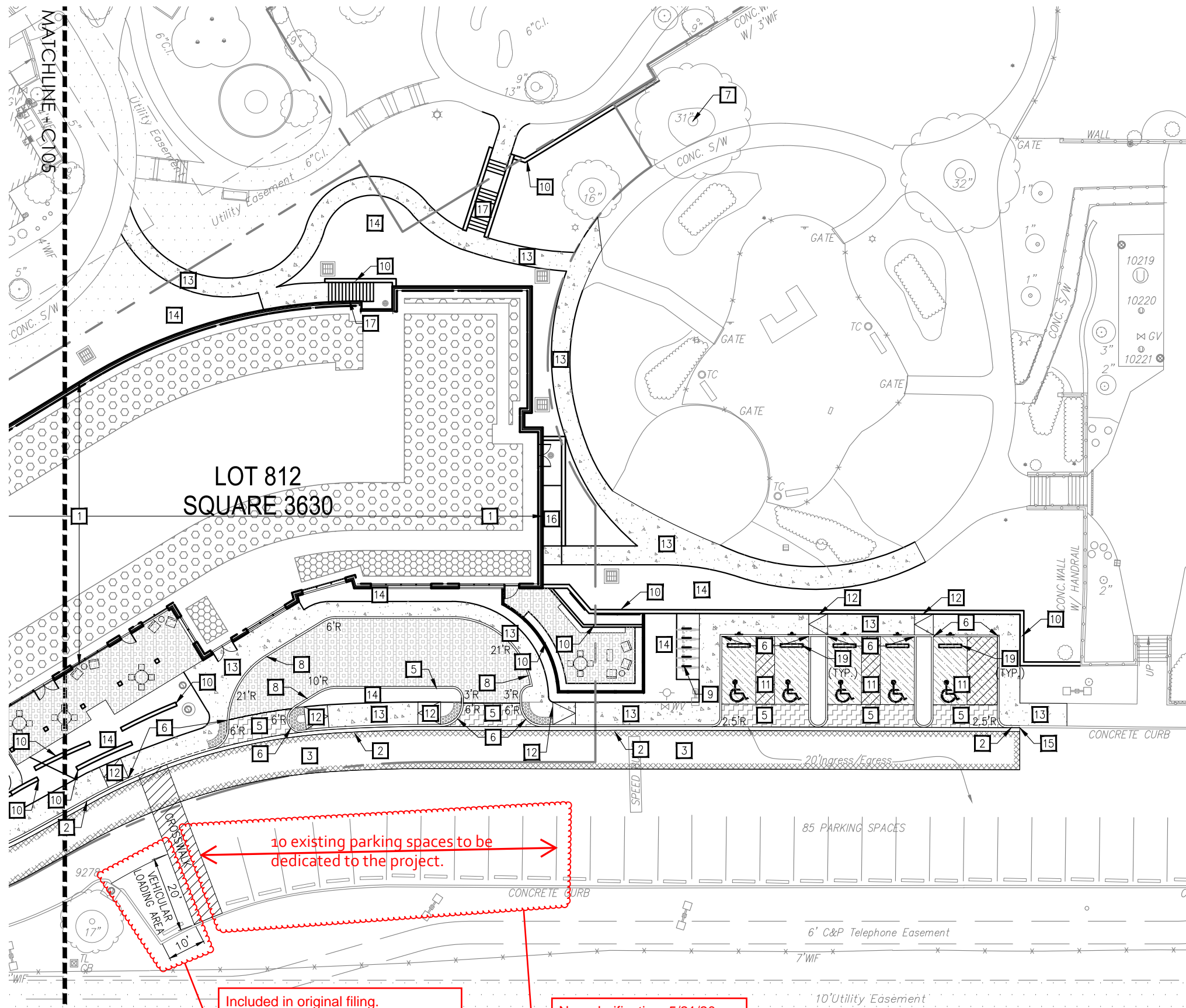
Washington, DC
May 27, 2020



- SITE KEYNOTES:**
- 1 NEW BUILDING. REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
 - 2 NEW 6" CONCRETE CURB AND CONCRETE GUTTER PER DDOT STANDARDS AND SPECIFICATIONS.
 - 3 NEW ASPHALT PAVEMENT SURFACE COURSE FROM FACE OF CURB TO THE CENTERLINE OF ROAD PER DDOT STANDARDS AND SPECIFICATIONS.
 - 4 NEW PAVEMENT MARKING.
 - 5 NEW HEAVY DUTY CONCRETE DRIVEWAY ENTRANCE PER DDOT STANDARDS AND SPECIFICATIONS. SIDEWALK SCORING PATTERN, TEXTURE, AND COLOR TO BE CONTINUED ACROSS THE DRIVEWAY.
 - 6 NEW FLUSH CURB PER SITE PLAN DETAIL.
 - 7 EXISTING TREE TO REMAIN.
 - 8 NEW 4" CONCRETE HEADER CURB PER SITE PLAN DETAIL.
 - 9 NEW BICYCLE RACK. REFER TO LANDSCAPE PLAN FOR DETAILS.
 - 10 NEW SITE WALL. REFER TO LANDSCAPE PLANS FOR DETAILS.
 - 11 NEW ASPHALT PAVEMENT AT FULL DEPTH PER DDOT STANDARDS AND SPECIFICATIONS.
 - 12 NEW HANDICAP RAMP WITH TRUNCATED DOME PER DDOT STANDARDS AND SPECIFICATIONS.
 - 13 NEW CONCRETE SIDEWALK PER DDOT STANDARDS AND SPECIFICATIONS. SCORING PATTERN PER DDOT DETAIL AND LANDSCAPE PLANS.
 - 14 NEW PLANTING AREA. REFER TO LANDSCAPE PLANS FOR DETAILS.
 - 15 LIMIT OF NEW CONCRETE CURB.
 - 16 NEW PEDESTRIAN RAMP. REFER TO LANDSCAPE PLANS FOR DETAILS.
 - 17 NEW STAIRS. REFER TO LANDSCAPE PLANS FOR DETAILS.
 - 18 NEW BIO-RETENTION AREAS REFER TO SITE PLAN DETAIL.
 - 19 NEW WHEEL STOP PER SITE PLAN DETAIL.

PAVING LEGEND

	NEW CONCRETE PAVEMENT
	NEW CONCRETE SIDEWALK
	NEW ASPHALT PAVEMENT (FULL DEPTH)
	NEW ASPHALT PAVEMENT (SURFACE COURSE)
	NEW HARDSCAPE PAVEMENT (SEE LANDSCAPE PLANS)
	NEW GREEN ROOF
	NEW BIO-RETENTION



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10 existing parking spaces to be dedicated to the project.

Included in original filing. Highlighted here for clarity. 5/21/20

New clarification. 5/21/20

		Green Area Ratio Scoresheet		
Address: Edgewood St. NE Washington DC 20017		Ward	Lot	Square
Other / N/A Order		enter sq ft of lot		Zoning District
Lot size (enter this value first) *		43,777	multiple	RA-4
				SCORE 0.300
Landscape Elements		Square Ft.	Factor	Total
A Landscaped areas (select one of the following for each area)				
1	Landscaped areas with a soil depth of less than 24"	enter sq ft 7,520	0.3	2,256.0
2	Landscaped areas with a soil depth of 24" or greater	enter sq ft 3,703	0.6	1,021.8
3	Bioretention facilities	enter sq ft 684	0.4	273.6
B Plantings (credit for plants in landscaped areas from Section A)				
1	Groundcovers, or other plants less than 2' tall at maturity	enter sq ft 6,670	0.2	1,334.0
2	Plants, not including grasses, 2' or taller at maturity - calculated at 9 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants 785	7065	0.3
3	Tree canopy for all trees 2.5" to 6" diameter or equivalent - calculated at 50 sq ft per tree	enter number of trees 0	0	0.5
4	Tree canopy for new trees 6" diameter or larger or equivalent - calculated at 250 sq ft per tree	enter number of trees 0	0	0.6
5	Tree canopy for preservation of existing tree 6" to 12" diameter or larger or equivalent - calculated at 250 sq ft per tree	enter number of trees 0	0	0.7
6	Tree canopy for preservation of existing tree 12" to 18" diameter or larger or equivalent - calculated at 600 sq ft per tree	enter number of trees 0	0	0.7
7	Tree canopy for preservation of all existing trees 18" to 24" dia. or equivalent - calculated at 1300 sq ft per tree	enter number of trees 0	0	0.7
8	Tree canopy for preservation of all existing trees 24" diameter or larger or equivalent - calculated at 2000 sq ft per tree	enter number of trees 0	0	0.8
9	Vegetated wall, plantings on a vertical surface	enter sq ft 0	0.6	-
C Vegetated or "green" roofs				
1	Over at least 2" and less than 8" of growth medium	enter sq ft 9,131	0.6	5,478.6
2	Over at least 8" of growth medium	enter sq ft 470	0.8	376.0
D Permeable Paving***				
1	Permeable paving over at least 6" and less than 24" of soil or gravel	enter sq ft 0	0.4	-
2	Permeable paving over at least 24" of soil or gravel	enter sq ft 0	0.5	-
E Other				
1	Enhanced tree growth systems***	enter sq ft 0	0.4	-
2	Renewable energy generation	enter sq ft 520	0.5	260.0
3	Approved water features	enter sq ft 0	0.2	-
		sub-total of sq ft =		33,763
H Bonuses				
1	Native plant species	enter sq ft 0	0.1	-
2	Landscaping in food cultivation	enter sq ft 0	0.1	-
3	Harvested stormwater irrigation	enter sq ft 0	0.1	-
		Green Area Ratio numerator =		13,120
*** Permeable paving and structural soil together may not qualify for more than one third of the Green Area Ratio score.		Total square footage of all permeable paving and enhanced tree growth		-

